

Town Office Study

Town Office Advisory Committee

August 28, 2023

Agenda

- Review history of project
- Present two designs
 - Renovate the existing town office building
 - Build a new town office building
- Goal: provide information on options—but not the costs
- What happens next:
 - Post tonight's materials on the town website
 - Second public hearing (January/early February) with costs
 - Discuss options and vote at town meeting March 12, 2024

Town Office Space Project—2009

2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023

Warrant Article 4 (March 2009) BOS proposes to appropriate \$70,000.00 to buy up to 12 acres of land. Warrant article defeated.

Warrant Article 26 (March 2009)—Citizen petitioned article requesting a professional assessment of the potential for expansion and upgrade capacity of town-owned buildings and parcels of land, and a cost estimate for the project. Warrant article passed. Selectmen appointed the Article 26 committee to carry this out.

Town Office Space Project—2010



Article 26 Committee proposed warrant articles/bond issues at town meeting 2010:

1. Construct and equip a combined fire and police facility on the current fire station site at Village Road (\$2,700,000) Article was defeated
2. Construct Town office facilities at the site of the combined fire and police facility at Village Road (\$454,000) Article was defeated
3. Renovate and construct Town office facilities at 33 Old Portland Road (\$1,070,000) Article was defeated

In 2011, town meeting voted to spend \$900,000 to build public safety building

Town Office Space Project—2020



Warrant Article 30 (March 2020) proposed funding to study for the restoration and/or addition to the existing Town Office and established this committee.

Town Office Space Project—2023



Warrant Article 28 (March 2023) proposed costing a new building in preparation for a vote on two options in March 2024.

Tonight's Program

- Option #1: Renovate the existing town office
Kate Richardson, Bergeron Technical Services
- Option #2: Build a new building on town-owned property
Robert Turpin, Misiaszek Turpin pllc

Freedom Town Office Feasibility Study

Presented by Bergeron Technical Services LLC

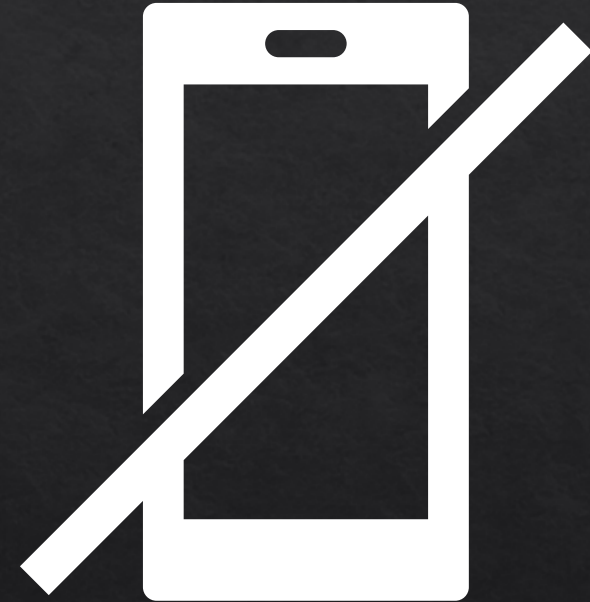
BERGERON
TECHNICAL SERVICES LLC





Please turn off your
cell phone or set it to
vibrate. If answering a
call or texting is
necessary, please step
out of the room.

Thank you!





Who is

BERGERON
TECHNICAL SERVICES LLC



?

Shawn Bergeron, CFPS – Owner/Manager & Code Consultant

- ◇ Experience in construction, codes, land use, and design since 1978
- ◇ Building Inspector/Code Enforcement Officer for Town of Conway 1993-1999
- ◇ Independent code consultant since 1999
- ◇ Chairman of NH Building Code Review Board 2013-2021

Kate Richardson, CFPS – Owner/Project Manager

- ◇ Experience in land use planning and consulting since 2003
- ◇ Employed at Bergeron Technical since 2010
- ◇ ICC Certified since 2010, NFPA CFPS since 2016
- ◇ Current Rep. for Governor's Commission on Disability to NH Building Code Review Board

Linda Bergeron – Administration & Bookkeeping



What services does Bergeron Technical Provide?

Forensic Building Analysis

Building Inspections

Fire & Life Safety Inspections

Plan Reviews

Local & State Permitting

Construction Project Administration

Construction Materials Testing

Accessibility Inspection & Certification

Code Seminars



Municipalities We Work With

Bartlett

Wolfeboro

Madison

Tamworth

Ossipee



Existing Historic Freedom Town Office





Existing Historic Freedom Town Office





Existing Historic Freedom Town Office





Existing Historic Freedom Town Office



Exterior historic details to
be protected and preserved

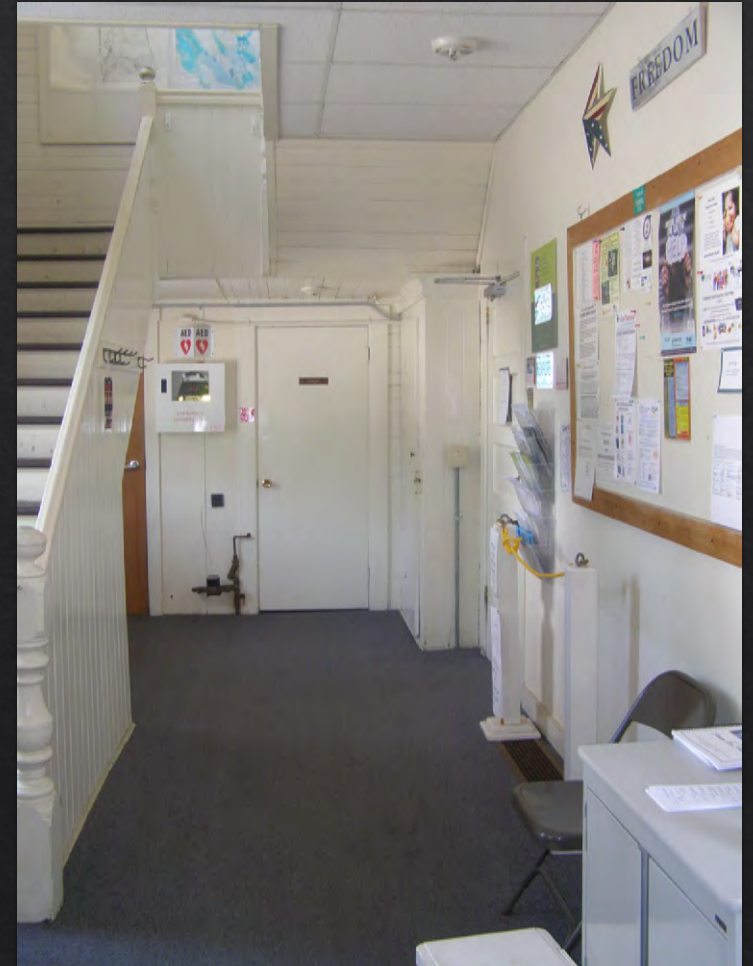




Existing Historic Freedom Town Office



Preservation of the
historical details of the
interior





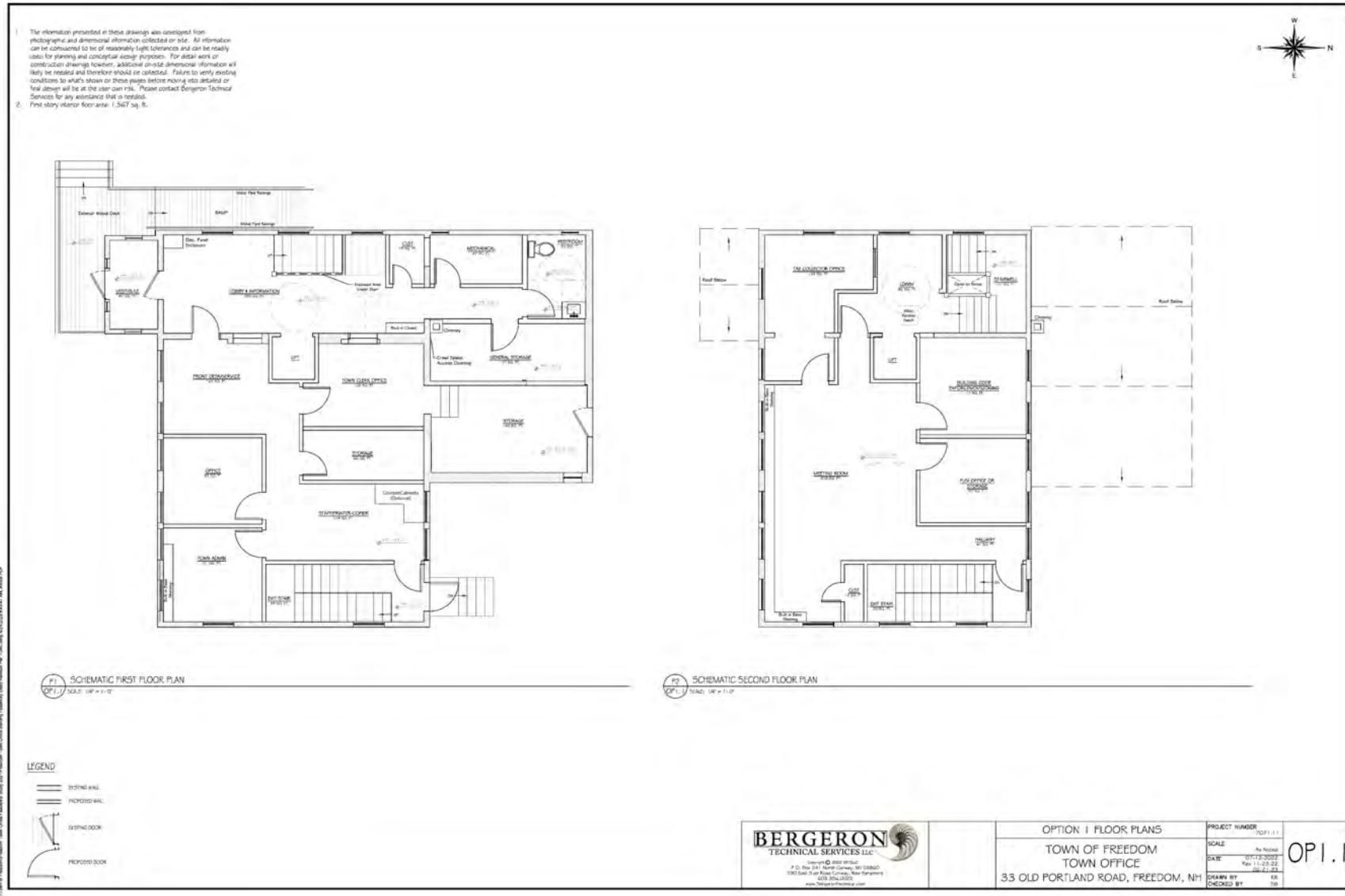
Existing Historic Freedom Town Office

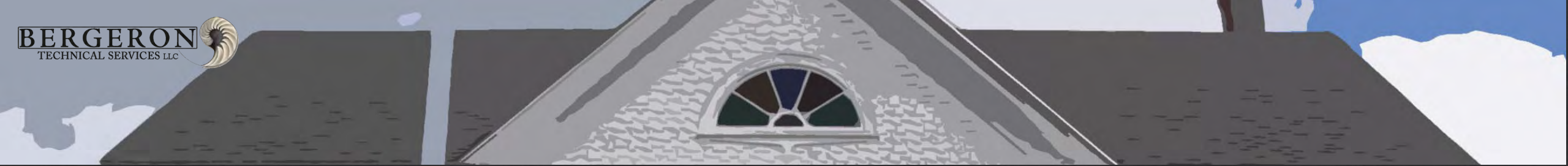
- ◆ Preservation of the stairway and entry area was a focal point of the project



Alternative Designs: Alternate #1

- ◆ Renovate the existing Town Office Building in its current footprint
- ◆ Preserve the historically significant features
- ◆ Provide accessible route to second floor, increased accessibility throughout
- ◆ Increased sound attenuation between offices
- ◆ Increased/better egress
- ◆ Increased security for staff





- ◆ Construct a partial or full basement under the building, remove rear addition & reconstruct as two story. Renovate remainder
- ◆ Provide significantly more space
- ◆ Space to provide interior secondary egress would be offset
- ◆ Requires a more significant elevator
- ◆ Most costly option
- ◆ Possible ledge blasting required

21 SCHEMATIC NORTH ELEVATION
SCALE: 1/8" = 1'-0"

22 SCHEMATIC WEST ELEVATION
SCALE: 1/8" = 1'-0"

23 SCHEMATIC SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

24 SCHEMATIC EAST ELEVATION
SCALE: 1/8" = 1'-0"

The information provided in this drawing was obtained from fieldwork and dimensional information collected on site. All information can be considered to be of necessary right, satisfaction and can be relied upon for planning and construction of the project. The actual work or construction of the project requires further review and verification and may be subject to change and therefore should be collected. Paying to see by existing conditions to verify a true and false report being given. No liability or will design will be at the user's risk. Please contact Bergeron Technical Services for any assistance that is needed.

BERGERON TECHNICAL SERVICES LLC		OPTION 3 ELEVATIONS		PROJECT NUMBER	OP3.2
33 OLD PORTLAND ROAD, FREEDOM, NH		TOWN OF FREEDOM TOWN OFFICE		SCALE	AS SHOWN
33 Old Portland Road, Freedom, NH 03046		33 OLD PORTLAND ROAD, FREEDOM, NH		DATE	07-17-2024
PH: 603.888.8888		33 OLD PORTLAND ROAD, FREEDOM, NH		DRAWN BY	AR
WWW.BERGERONTECHNICALSERVICES.COM		33 OLD PORTLAND ROAD, FREEDOM, NH		CHECKED BY	AR



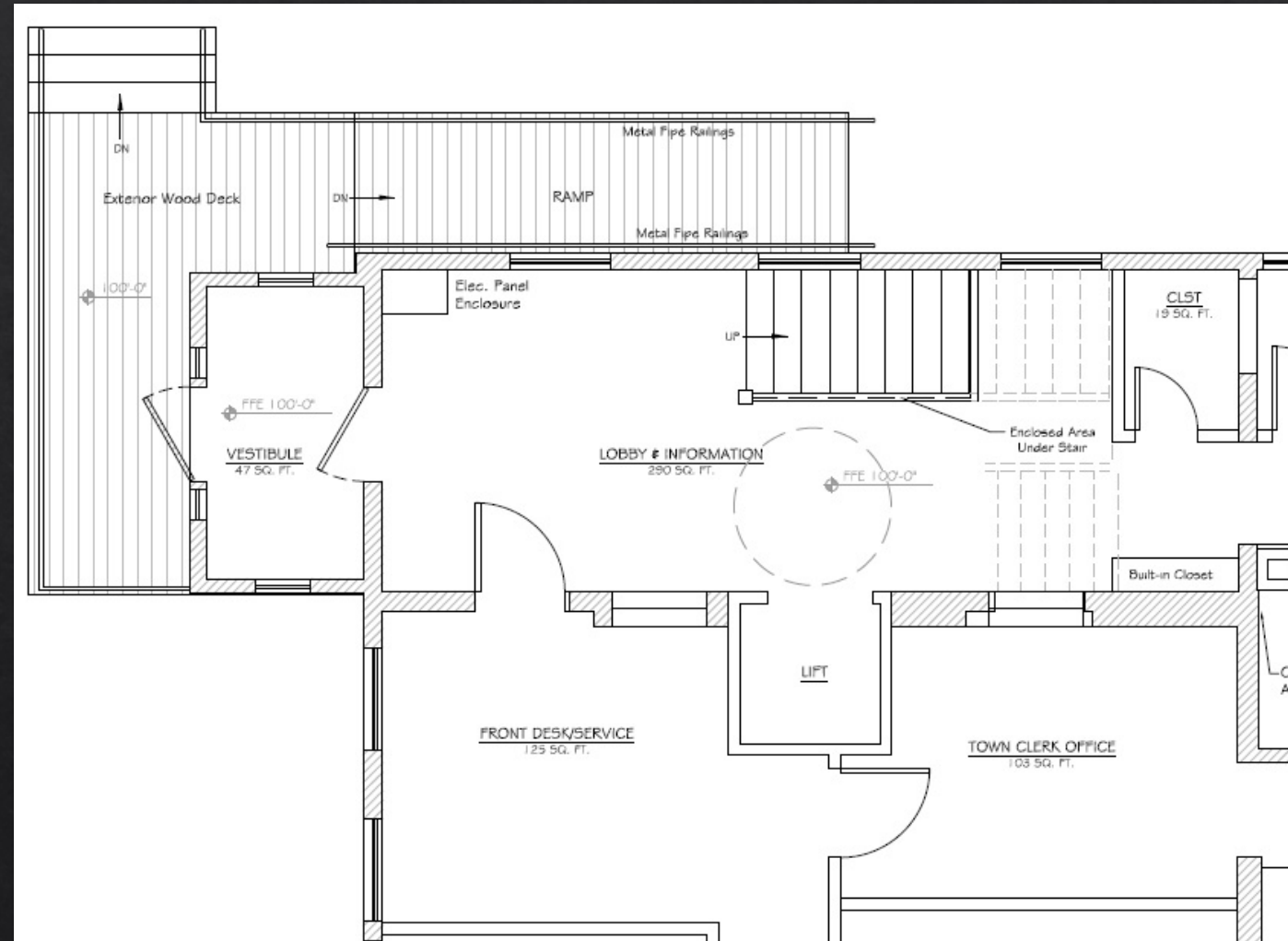
Alternate #1



- ◆ Keep building exterior envelope as is
- ◆ Renovate interior

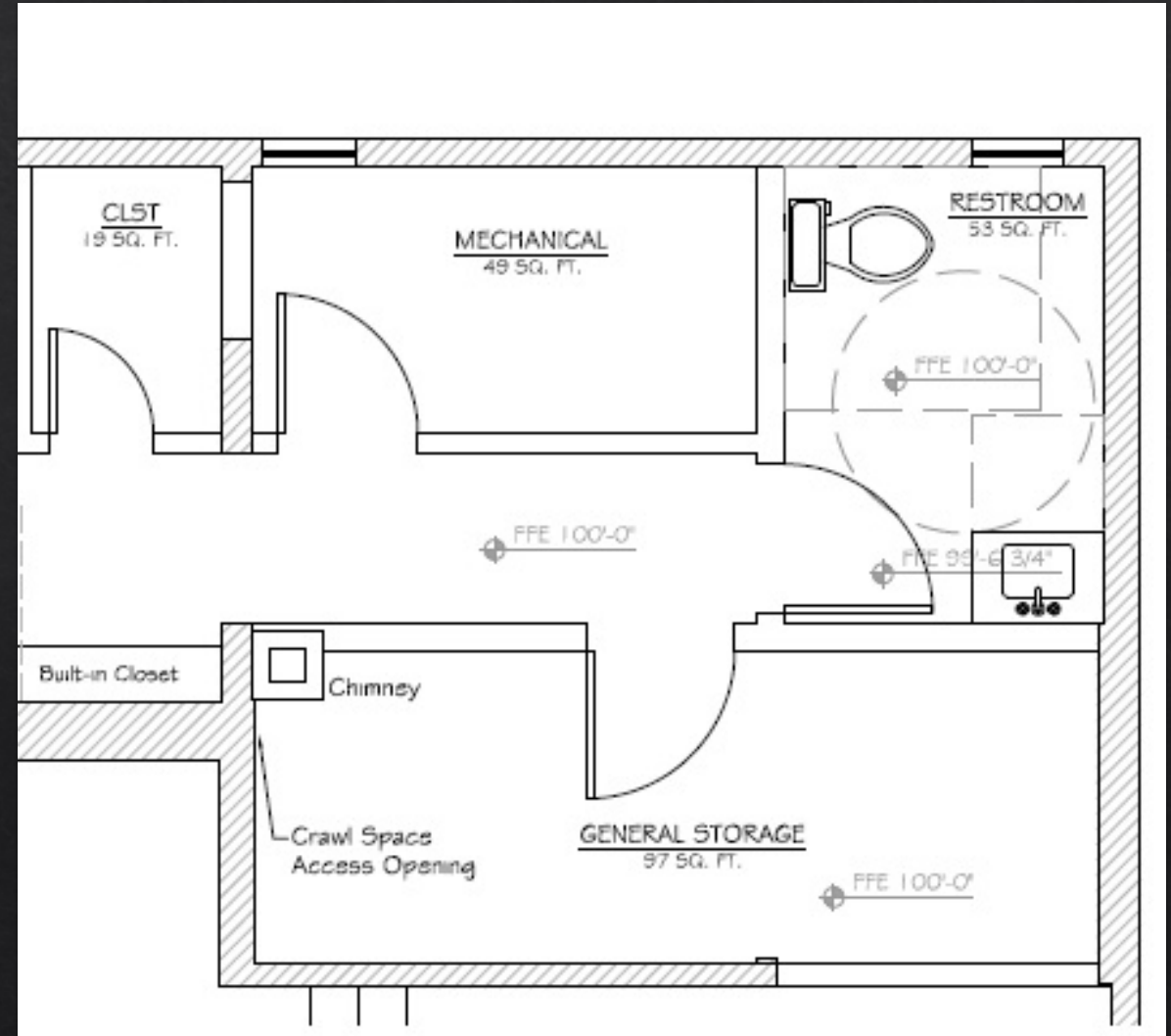
First Floor Lobby

- ◆ Retain the existing entry and the historic detailing
- ◆ Provide a platform lift accessible from the first-floor lobby to the second story lobby
- ◆ Provide security service windows between the lobby and the Front Desk and Town Clerk
- ◆ Reduce the entry points between the public space and staff areas for better security



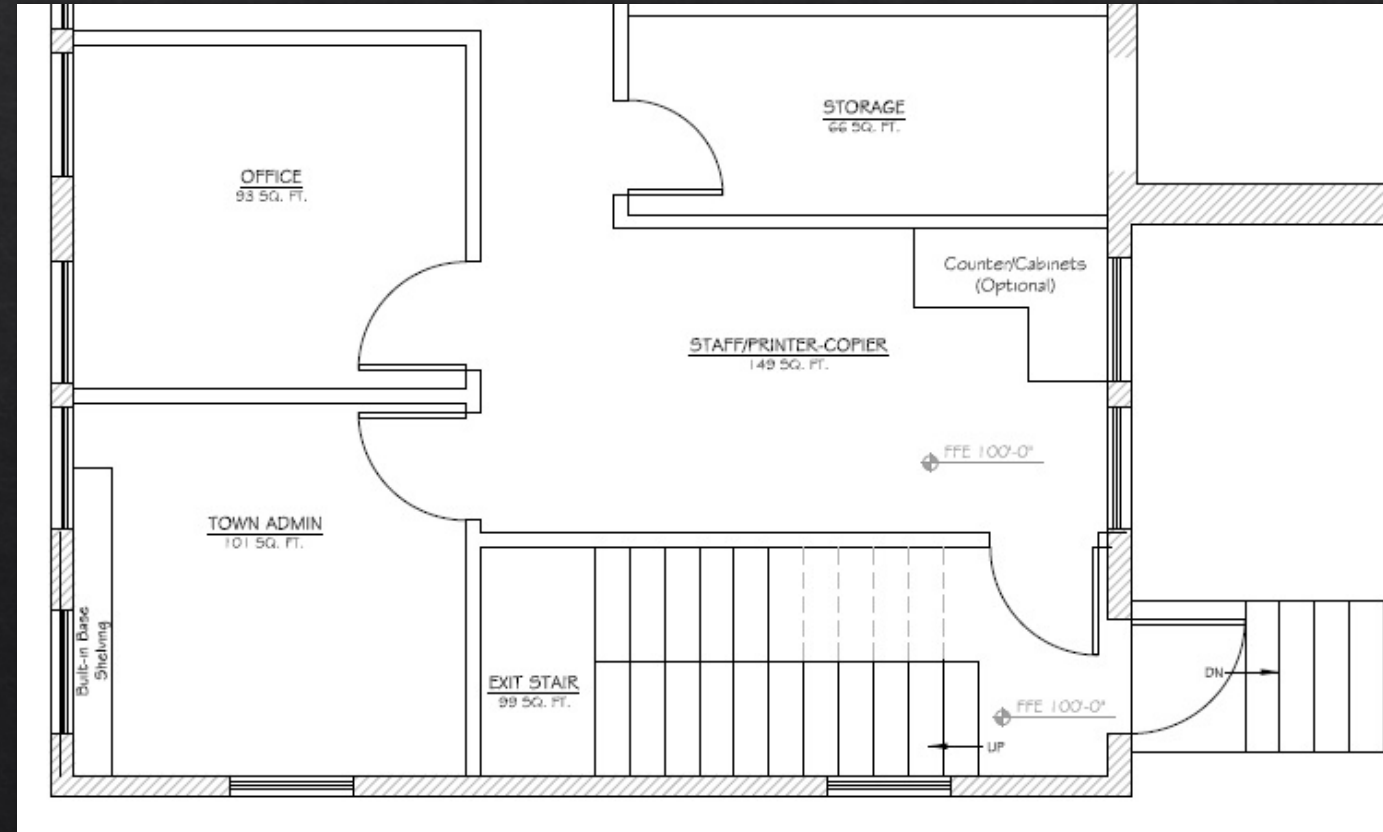
First Floor Restroom

- ◆ Reduce size of mechanical space due to smaller sizing of smaller equipment and appliances
- ◆ Increase size of restroom to provide fully compliant accessible restroom.
- ◆ Increase storage space



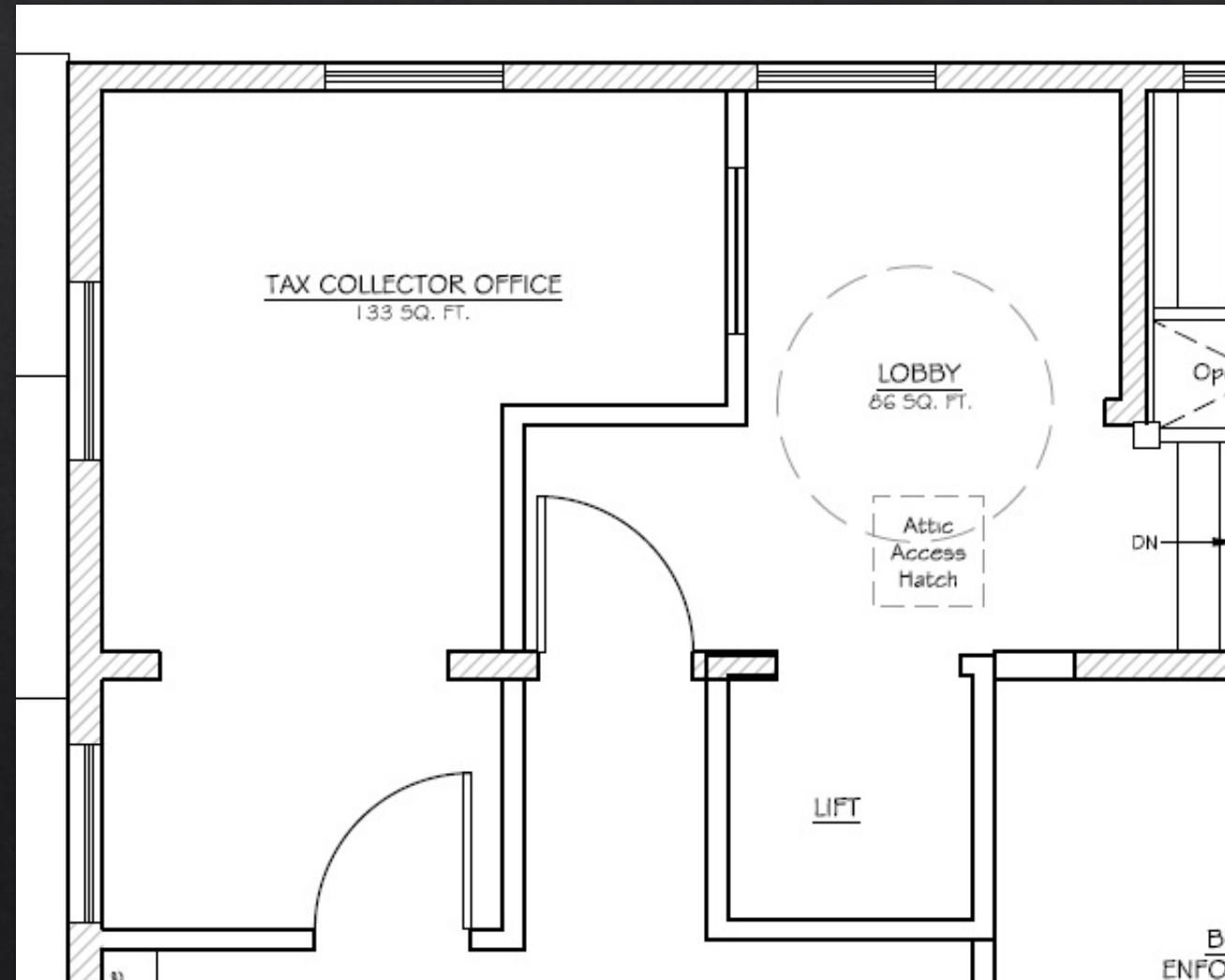
First Floor Offices & Egress

- ◆ Provide a code-compliant, interior second means of egress on the first story
- ◆ Provide a separate storage closet for records
- ◆ Provide flexible office space for part time employees and board members
- ◆ Provide interior hallway and staff space for ease of access and staff coordination
- ◆ Interior exit stair allows staff to travel between floors without moving through the public space



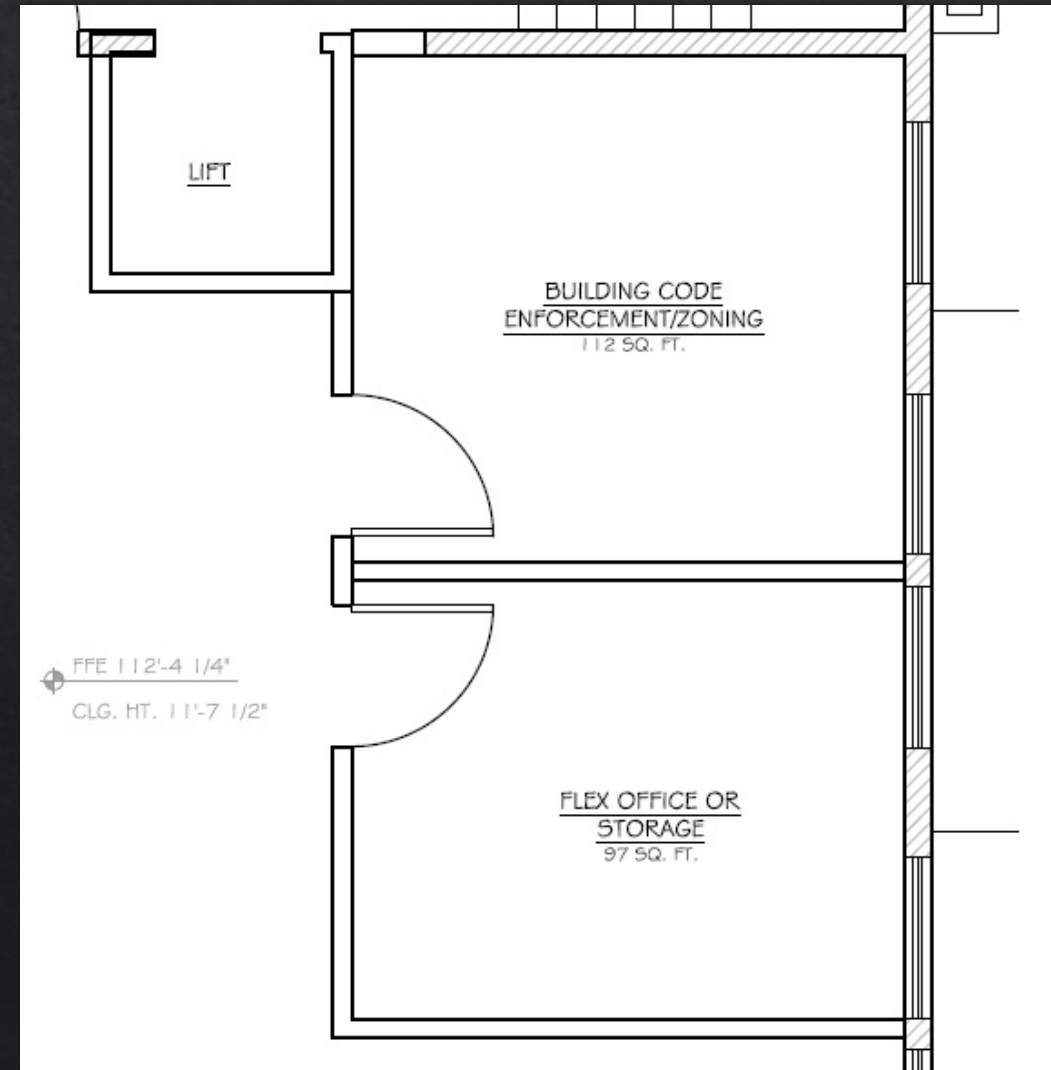
Second Floor Lobby

- ◆ Second story is provided an accessible route by the proposed platform lift
- ◆ Second story lobby is expanded for accessibility
- ◆ Access to staff and Select Board space on second story is limited to one entry point
- ◆ Provide security service windows between the lobby and the Tax Collector



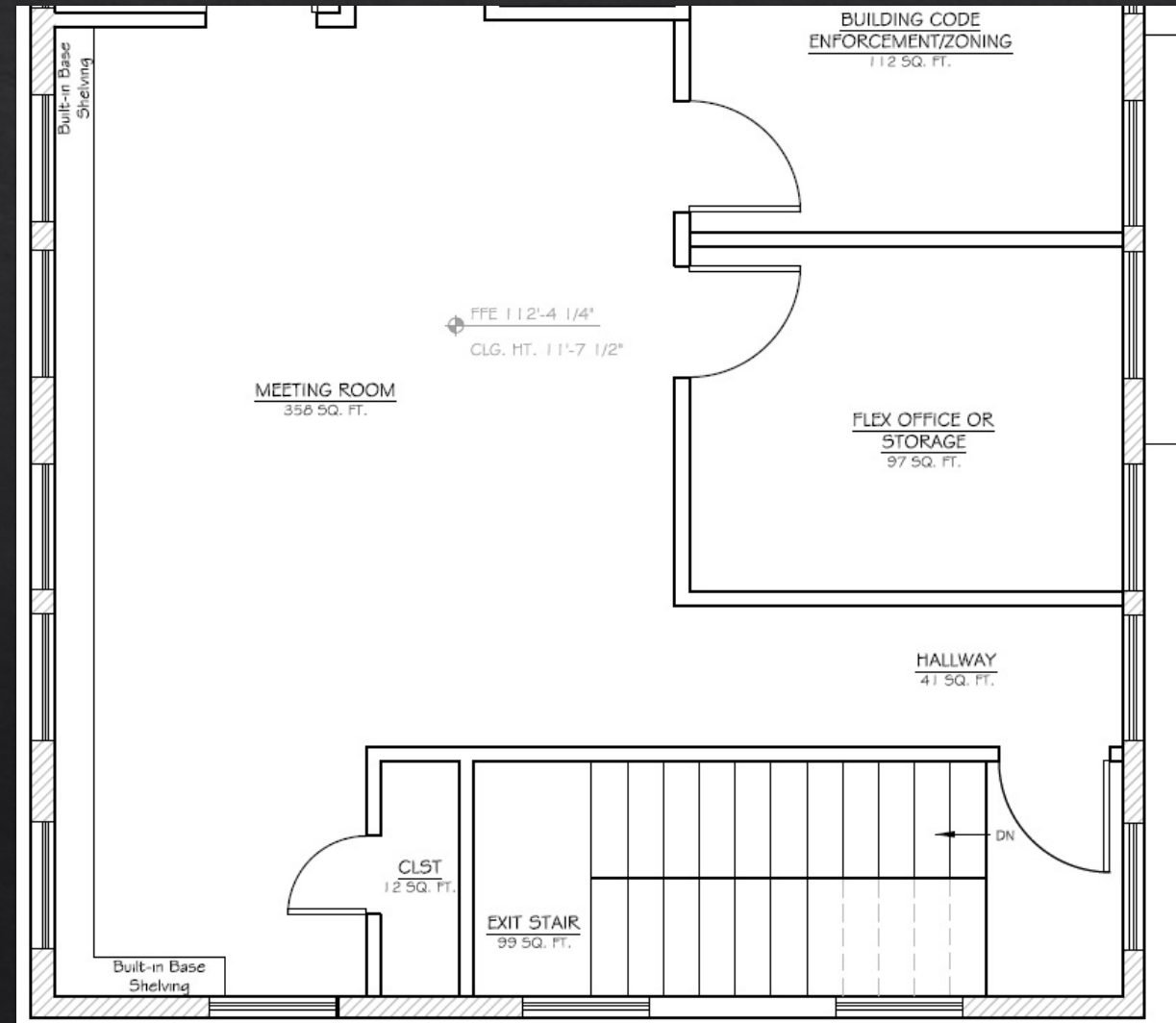
Second Floor Office

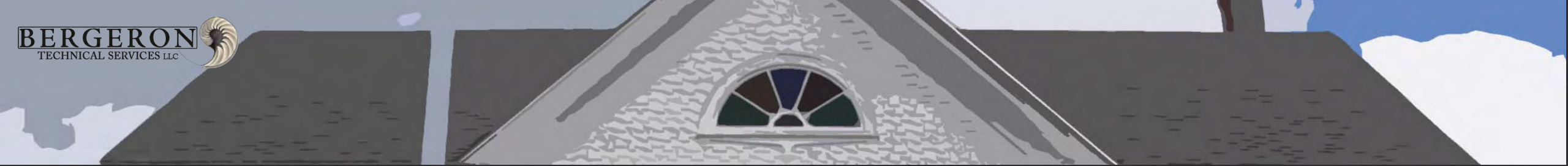
- ◆ Building Code Enforcement and Zoning Office increases in size for record storage
- ◆ A flexible room that can be used for storage and/or additional office space for select board members, staff or other board members



Second Floor Meeting Room and Stairs

- ◆ Retain a similar area for the second story meeting room/Select Board room
- ◆ Provide some closet space for storage
- ◆ Provide a code compliant, interior, enclosed exit stair from the second story that discharges directly outdoors on the grade level





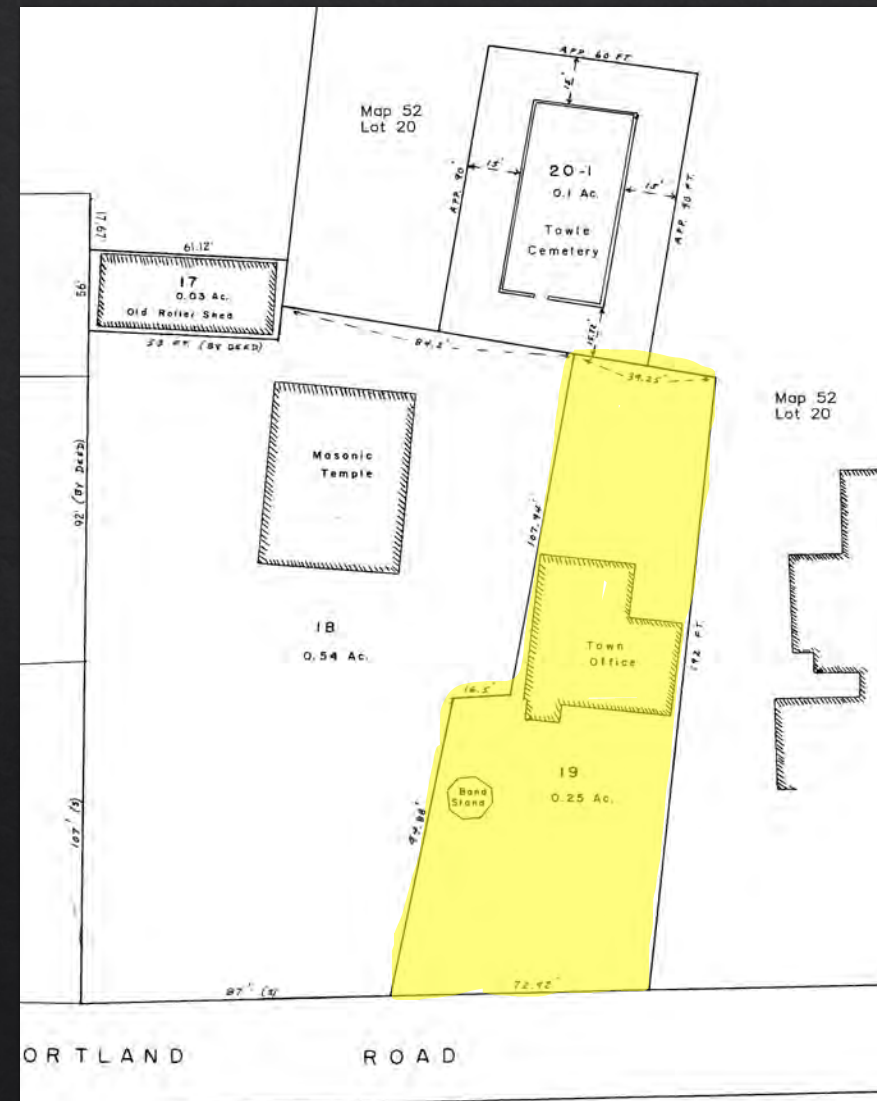
Room:	Design:	
	Existing	Option 1
<u>First Story</u>		
Front Office/Service	201	125
Town Clerk Office	249	103
Town Admin Office	123	101
Additional Office	117	93
Staff Common Area	0	149
Storage	227	330
Lobby/Egress	377	436
Restroom	43	53
Mechanical	57	49
<u>Second Story</u>		
Tax Collector Office	164	133
Building Code Officer	76	112
Flexible Space	84	97
Selectmen	403	358
Storage	85	12
Lobby/Egress	107	311
Other	132	20
<u>Total Utilized Area</u>	2,445	2,482

Existing vs. Alternative #1 Schematic

- ◆ Space comparison showing overall areas for specific rooms & uses
- ◆ Storage Space Increases from 312 sq. ft. to 342 sq. ft., more if flexible space is utilized
- ◆ Space provided for Staff Breaks and storage

Town Office Site

- ◆ The Existing Town Office Building sits on Freedom Tax Map 52-A, Lot 19; 33 Old Portland Road
- ◆ The site topography begins with a steep slope that increases in elevation from the road to about half way of the depth of the property, then becomes quite level where the Town Office Building is located out to the rear of the property.
- ◆ The parking lot for the Town Office is located on the Masonic Temple property (currently owned by the Town)
- ◆ Building footprint is constrained to existing due to
 - ◆ Existing property lines
 - ◆ Site topography (Steep slope towards road)
 - ◆ Infrastructure (septic system is located behind the building)

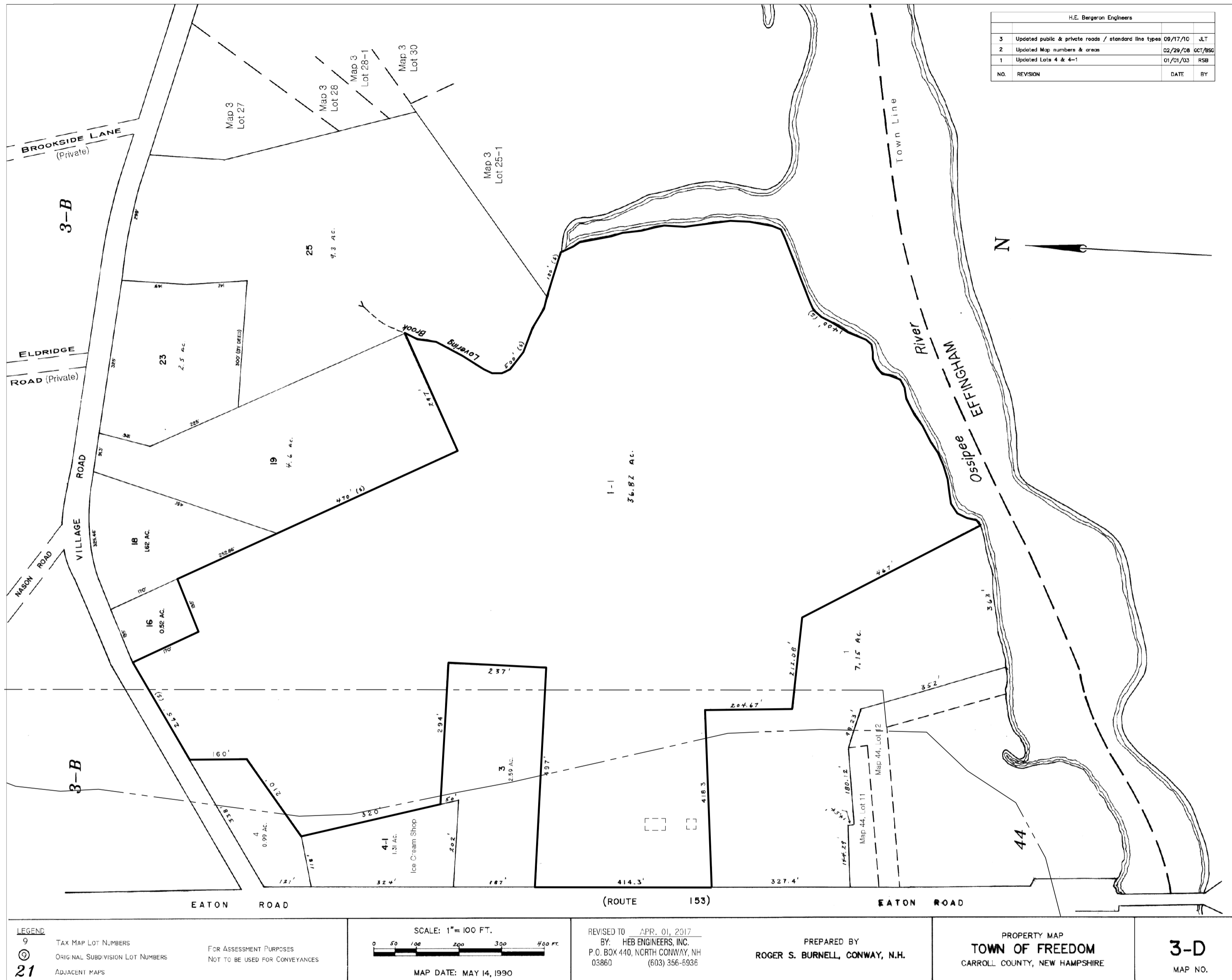




Questions?

New Town Office Building

Robert Kelly Turpin AIA
Misiaszek Turpin pllc
August 28, 2023



PROPERTY PLAN

NEW TOWN OFFICES
 TOWN OF FREEDOM, NEW HAMPSHIRE

MISIASZEK TURPIN PLLC
 28 AUGUST 2023





VIEW FROM SOUTHWEST



VIEW FROM NORTHWEST

■ NEW TOWN OFFICES ■
TOWN OF FREEDOM, NEW HAMPSHIRE

MISIASZEK TURPIN PLLC
28 AUGUST 2023

National Flood Hazard Layer FIRMette



71°3'37"W 43°48'15"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|---|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
Zone A, V, A99 |
| | | With BFE or Depth Zone AE, AO, AH, VE, AR |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
| | | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | | Area with Reduced Flood Risk due to Levee. See Notes. Zone X |
| | | Area with Flood Risk due to Levee Zone D |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | | Effective LOMRs |
| | | Area of Undetermined Flood Hazard Zone D |
| GENERAL STRUCTURES | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | 17.5 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/23/2023 at 2:34 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

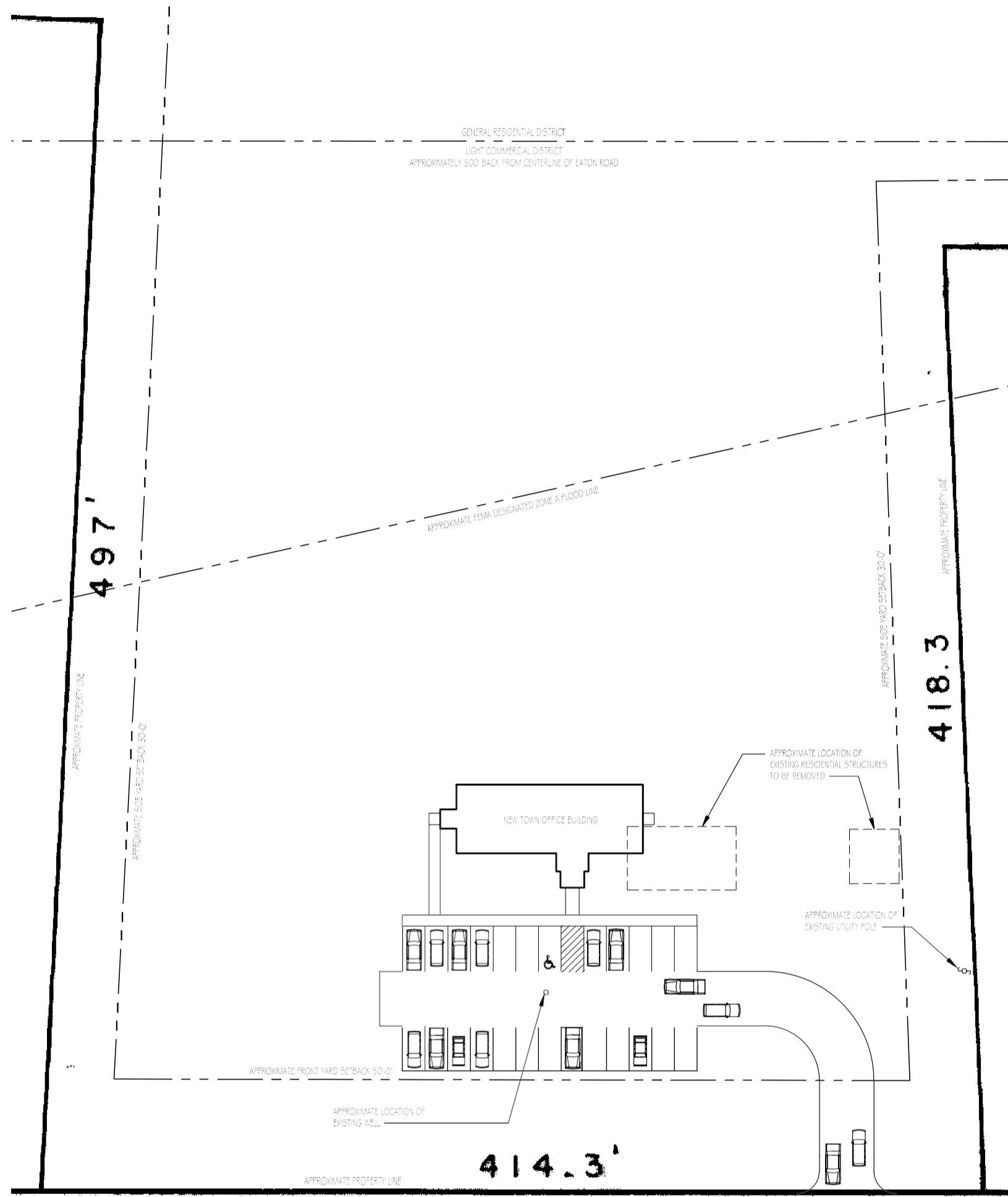
0 250 500 1,000 1,500 2,000 Feet 1:6,000 71°3'W 43°47'49"N

Basemap Imagery Source: USGS National Map 2023

NEW TOWN OFFICES
TOWN OF FREEDOM, NEW HAMPSHIRE

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28 AUGUST 2023

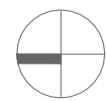




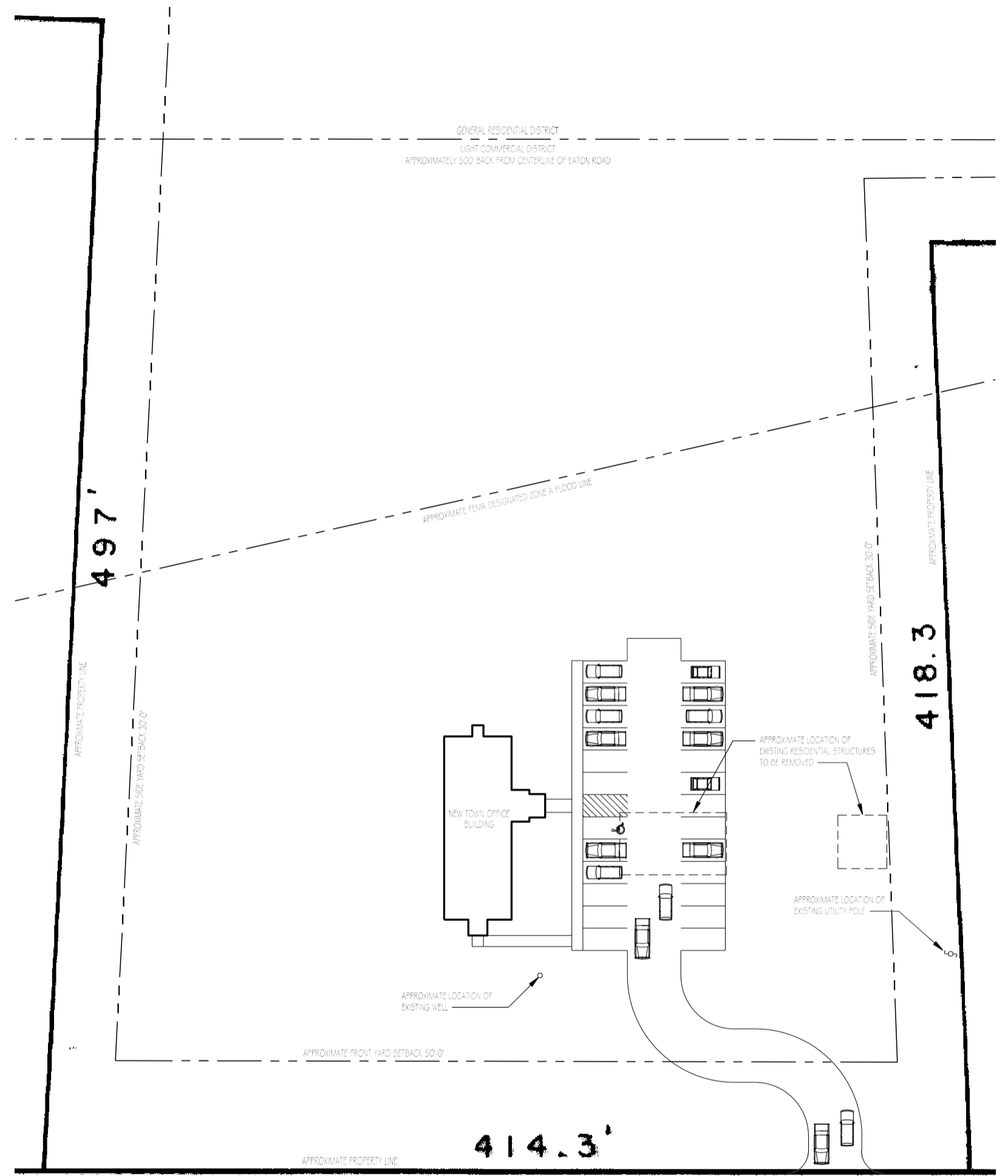
SITE CONCEPT - OPTION 02



SCALE: 1/32" = 1'-0"



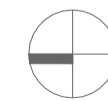
PROJECT NORTH



SITE CONCEPT - OPTION 01



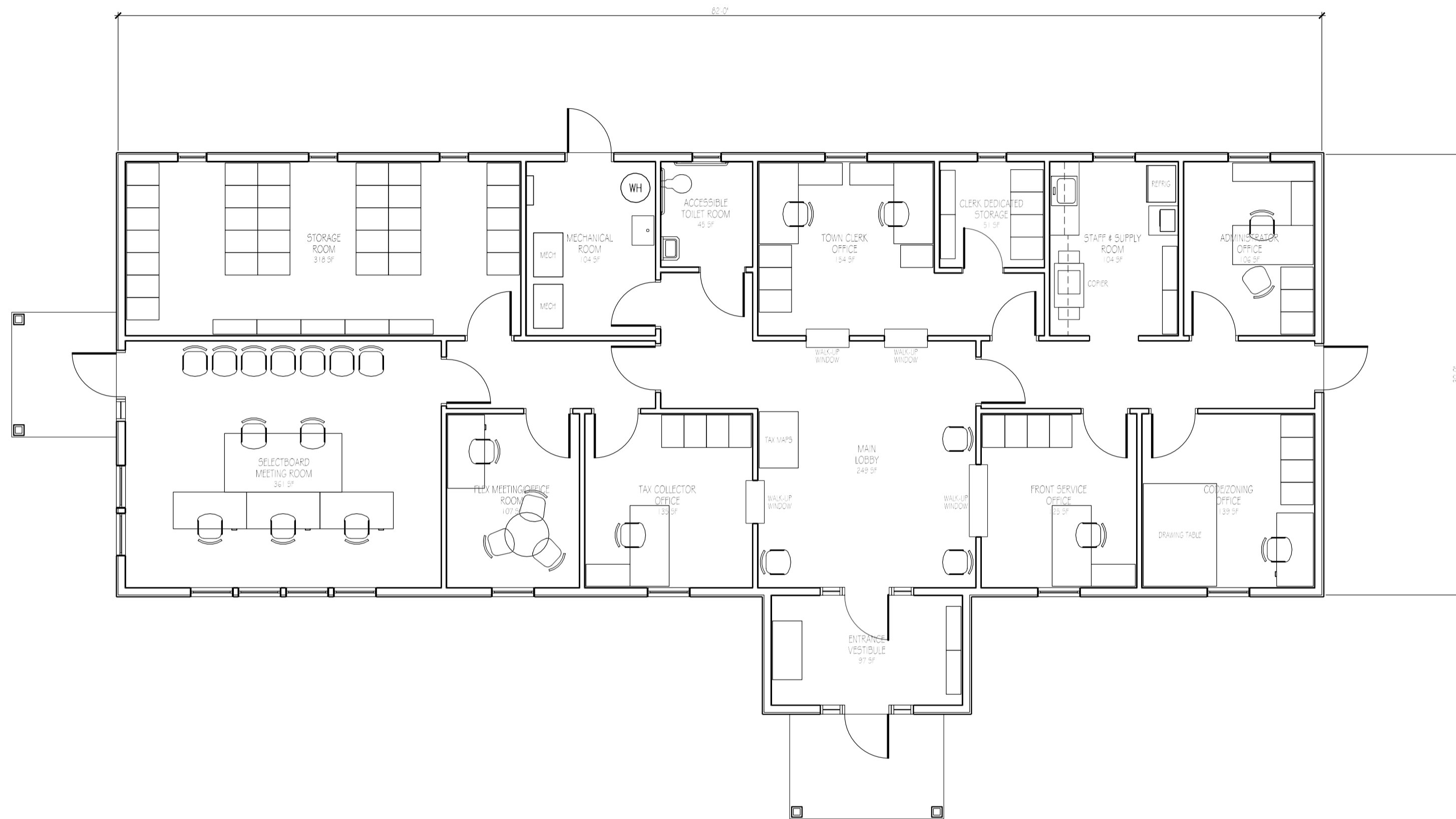
SCALE: 1/32" = 1'-0"



PROJECT NORTH

NEW TOWN OFFICES
TOWN OF FREEDOM, NEW HAMPSHIRE

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28 AUGUST 2023



FLOOR PLAN



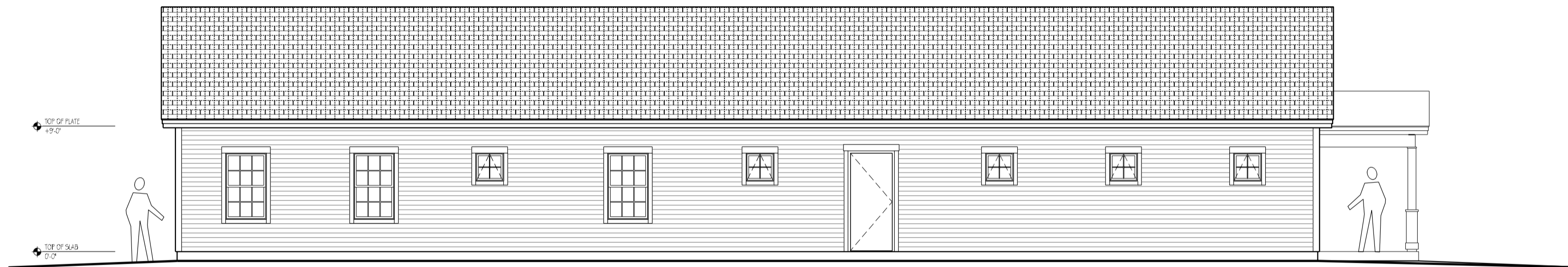
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■ **NEW TOWN OFFICES** ■
 TOWN OF FREEDOM, NEW HAMPSHIRE

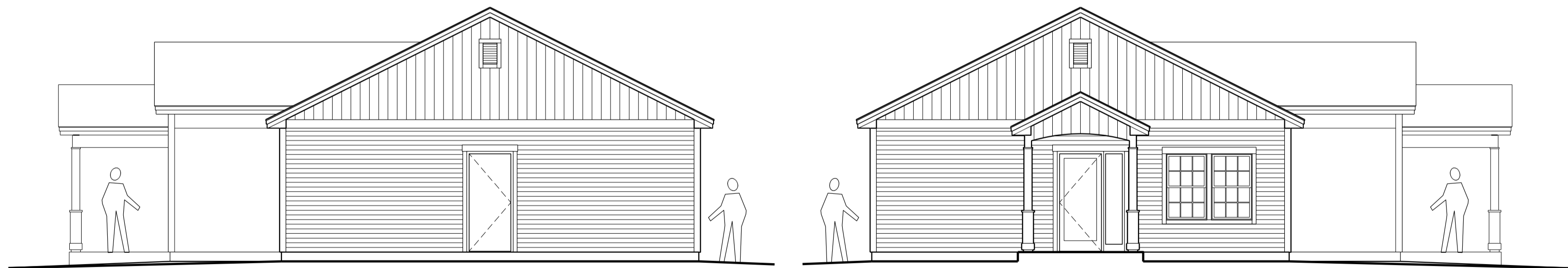
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FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

SIDE ELEVATION

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