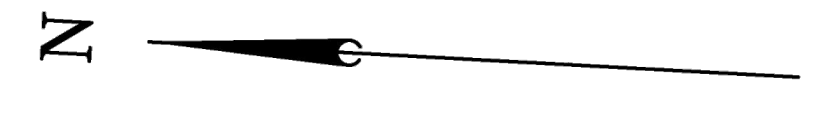


GENERAL NOTES

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| H.E. Bergeron Engineers | | | |
|-------------------------|--|----------|---------|
| NO. | REVISION | DATE | BY |
| 3 | Updated public & private roads / standard line types | 09/17/10 | JLT |
| 2 | Updated Map numbers & areas | 02/28/08 | SC7/RSB |
| 1 | Updated Lots 4 & 4-1 | 01/01/03 | RSB |



KEY NOTES

NEW TOWN OFFICES
Town of Freedom
50 Eaton Road
Freedom, New Hampshire

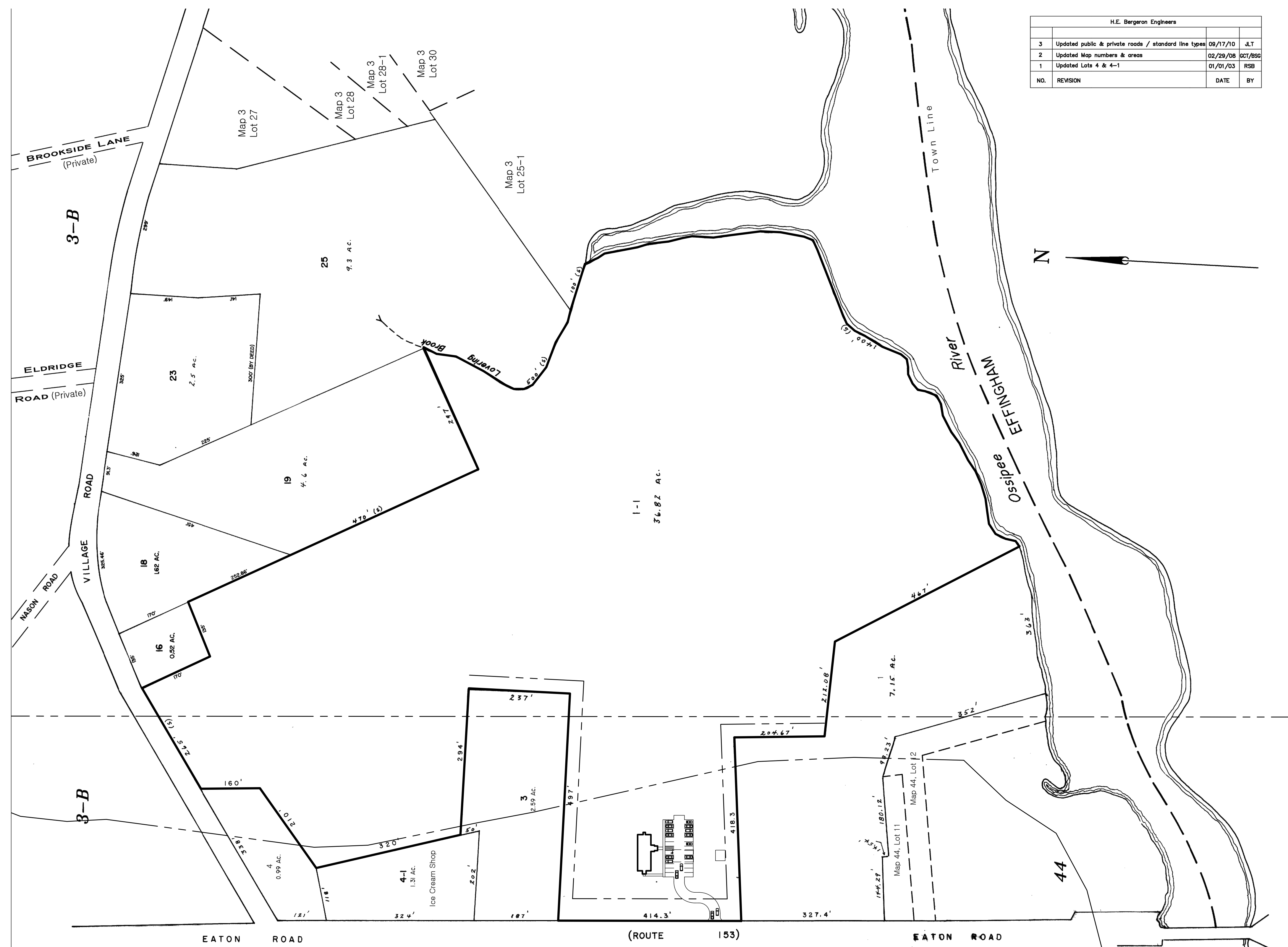
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New Construction
SITE PLAN

| | |
|----------------|----------|
| DATE | |
| SCALE | AS NOTED |
| DRAWN BY | |
| PROJECT NUMBER | 2335 |

AS.00
502335 Site.dwg



LEGEND
9 TAX MAP LOT NUMBERS
21 ORIGINAL SUBDIVISION LOT NUMBERS
ADJACENT MAPS
FOR ASSESSMENT PURPOSES
NOT TO BE USED FOR CONVEYANCES

SCALE: 1" = 100 FT.
MAP DATE: MAY 14, 1990

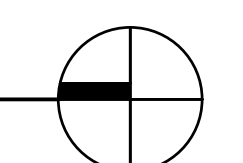
REVISED TO APR. 01, 2017
BY: HEB ENGINEERS, INC.
P.O. BOX 440, NORTH CONWAY, NH 03860
(603) 356-6936

PREPARED BY
ROGER S. BURNELL, CONWAY, N.H.

PROPERTY MAP
TOWN OF FREEDOM
CARROLL COUNTY, NEW HAMPSHIRE

3-D
MAP NO.

SITE PLAN
SCALE: NOT TO SCALE



14 13 12 11 10 9 8 7 6 5 4 3 2 1

M
L
K
J
H
G
F
E
D
C
B
A

SITE & ZONING SUMMARY

- A. PROPERTY LOCATION: 50 EATON ROAD
TAX MAP #3, LOT 01-01
- B. ZONE DESIGNATION: 'VR' VILLAGE RESIDENTIAL DISTRICT
FIRST 500 FEET FROM CENTERLINE OF EATON ROAD
'GR' GENERAL RESIDENTIAL DISTRICT
REMAINING PORTION OF PROPERTY
- C. AREA AND DIMENSIONS: MINIMUM LOT SIZE: ONE (1) ACRE
MINIMUM ROAD FRONTAGE: 200 FEET
MINIMUM FRONT YARD SETBACK: 50 FEET
MINIMUM SIDE YARD SETBACK: 30 FEET
MINIMUM REAR YARD SETBACK: 40 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET
- D. USE DEFINITIONS: LIGHT COMMERCIAL: INCLUDES BUSINESS &
PROFESSIONAL OFFICES
OFFICE: ALLOWED BY SPECIAL EXCEPTION AS A LIGHT
COMMERCIAL USE (NOT INDICATED AS SUCH UNDER
VILLAGE RESIDENTIAL DISTRICT)
- D. PARKING REQUIREMENTS: LIGHT COMMERCIAL: 1 PER EMPLOYEE BASED UPON
HIGHEST EXPECTED EMPLOYEE OCCUPANCY, PLUS 1
PER 150 SQUARE FEET OF FLOOR SPACE

ESTIMATED 8 EMPLOYEES - 8 SPACES
2500 SQUARE FEET - 17 SPACES
TOTAL NUMBER PROVIDED: 25 SPACES

GENERAL NOTES

- A. LOCATION OF EXISTING SEPTIC TANK AND LEACHING FIELD IS UNKNOWN

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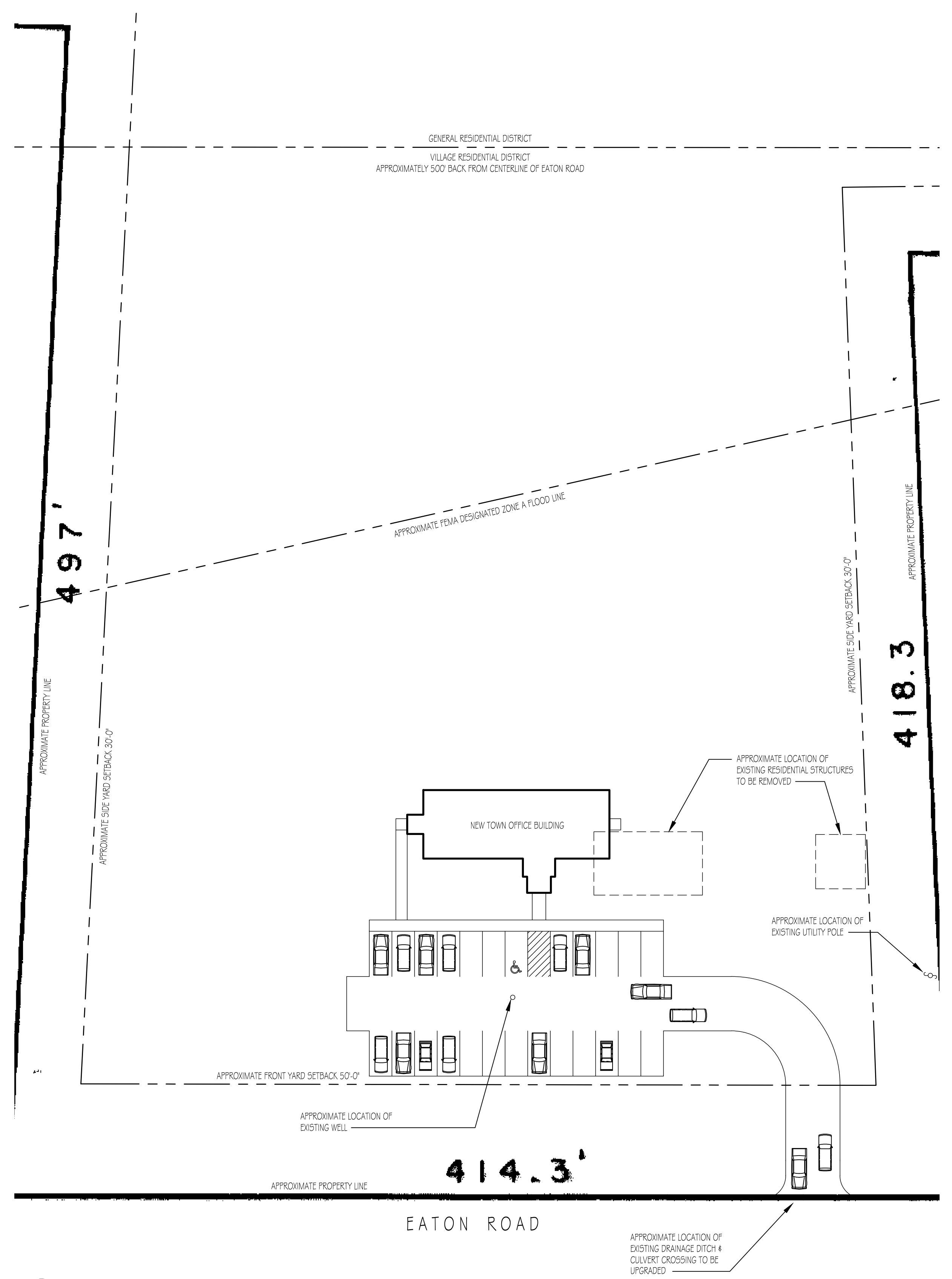
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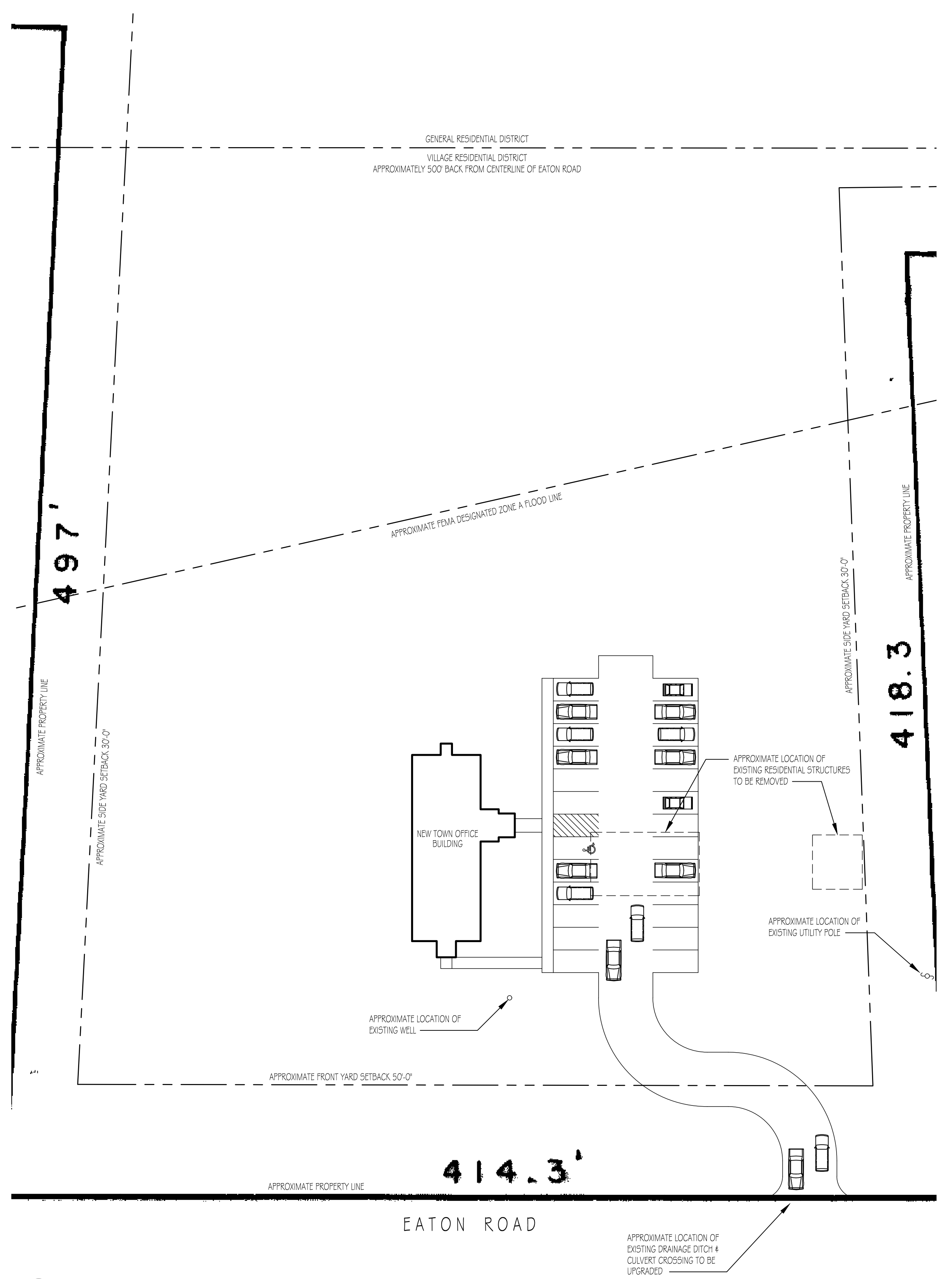
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**SITE PLAN
OPTIONS**

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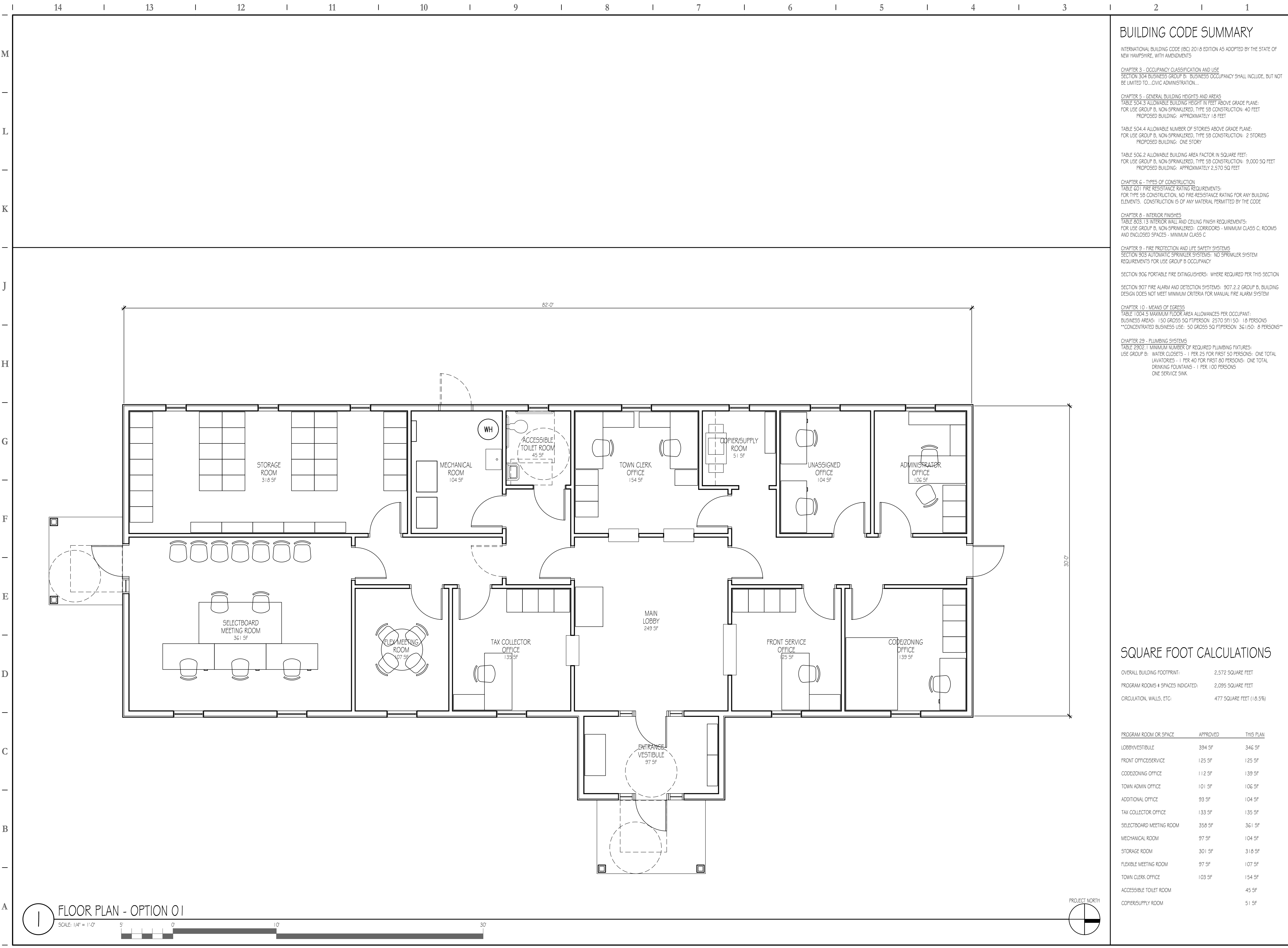


ENLARGED SITE PLAN - OPTION 02
SCALE: 1/32" = 1'-0"
40 20 0 40 80 120 160 200 240



ENLARGED SITE PLAN - OPTION 01
SCALE: 1/32" = 1'-0"
40 20 0 40 80 120 160 200 240

14 13 12 11 10 9 8 7 6 5 4 3 2 1



FLOOR PLAN - OPTION 01
SCALE: 1/4" = 1'-0"

BUILDING CODE SUMMARY

INTERNATIONAL BUILDING CODE (IBC) 2018 EDITION AS ADOPTED BY THE STATE OF NEW HAMPSHIRE, WITH AMENDMENTS

CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE
SECTION 304 BUSINESS GROUP B - BUSINESS OCCUPANCY SHALL INCLUDE, BUT NOT BE LIMITED TO...CIVIC ADMINISTRATION...

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS
TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE:
FOR USE GROUP B, NON-SPRINKLERED, TYPE 5B CONSTRUCTION: 40 FEET
PROPOSED BUILDING: APPROXIMATELY 18 FEET

TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE:
FOR USE GROUP B, NON-SPRINKLERED, TYPE 5B CONSTRUCTION: 2 STORIES
PROPOSED BUILDING: ONE STORY

TABLE 506.2 ALLOWABLE BUILDING AREA FACTOR IN SQUARE FEET:
FOR USE GROUP B, NON-SPRINKLERED, TYPE 5B CONSTRUCTION: 9,000 SQ FEET
PROPOSED BUILDING: APPROXIMATELY 2,570 SQ FEET

CHAPTER 6 - TYPES OF CONSTRUCTION
TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS:
FOR TYPE 5B CONSTRUCTION, NO FIRE-RESISTANCE RATING FOR ANY BUILDING ELEMENTS. CONSTRUCTION IS OF ANY MATERIAL PERMITTED BY THE CODE

CHAPTER 8 - INTERIOR FINISHES
TABLE 203.13 INTERIOR WALL AND CEILING FINISH REQUIREMENTS:
FOR USE GROUP B, NON-SPRINKLERED: CORRIDORS - MINIMUM CLASS C; ROOMS AND ENCLOSED SPACES - MINIMUM CLASS C

CHAPTER 9 - FIRE PROTECTION AND LIFE SAFETY SYSTEMS
SECTION 903 AUTOMATIC SPRINKLER SYSTEMS: NO SPRINKLER SYSTEM REQUIREMENTS FOR USE GROUP B OCCUPANCY

SECTION 906 PORTABLE FIRE EXTINGUISHERS: WHERE REQUIRED PER THIS SECTION

SECTION 907 FIRE ALARM AND DETECTION SYSTEMS: 907.2.2 GROUP B, BUILDING DESIGN DOES NOT MEET MINIMUM CRITERIA FOR MANUAL FIRE ALARM SYSTEM

CHAPTER 10 - MEANS OF EGRESS
TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT:
BUSINESS AREAS: 150 GROSS SQ FT/PERSON 2570 SQ/150: 18 PERSONS
CONCENTRATED BUSINESS USE: 50 GROSS SQ FT/PERSON 361/50: 8 PERSONS

CHAPTER 29 - PLUMBING SYSTEMS
TABLE 2902.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES:
USE GROUP B: WATER CLOSETS - 1 PER 25 FOR FIRST 50 PERSONS; ONE TOTAL LAVATORIES - 1 PER 40 FOR FIRST 80 PERSONS; ONE TOTAL DRINKING FOUNTAINS - 1 PER 100 PERSONS
ONE SERVICE SINK

SQUARE FOOT CALCULATIONS

OVERALL BUILDING FOOTPRINT: 2,572 SQUARE FEET
PROGRAM ROOMS & SPACES INDICATED: 2,095 SQUARE FEET
CIRCULATION, WALLS, ETC: 477 SQUARE FEET (18.5%)

| PROGRAM ROOM OR SPACE | APPROVED | THIS PLAN |
|--------------------------|----------|-----------|
| LOBBY/VESTIBULE | 394 SF | 346 SF |
| FRONT OFFICE/SERVICE | 125 SF | 125 SF |
| CODE/ZONING OFFICE | 112 SF | 139 SF |
| TOWN ADMIN OFFICE | 101 SF | 106 SF |
| ADDITIONAL OFFICE | 93 SF | 104 SF |
| TAX COLLECTOR OFFICE | 133 SF | 135 SF |
| SELECTBOARD MEETING ROOM | 358 SF | 361 SF |
| MECHANICAL ROOM | 97 SF | 104 SF |
| STORAGE ROOM | 301 SF | 318 SF |
| FLEXIBLE MEETING ROOM | 97 SF | 107 SF |
| TOWN CLERK OFFICE | 103 SF | 154 SF |
| ACCESSIBLE TOILET ROOM | | 45 SF |
| COPIER/SUPPLY ROOM | | 51 SF |

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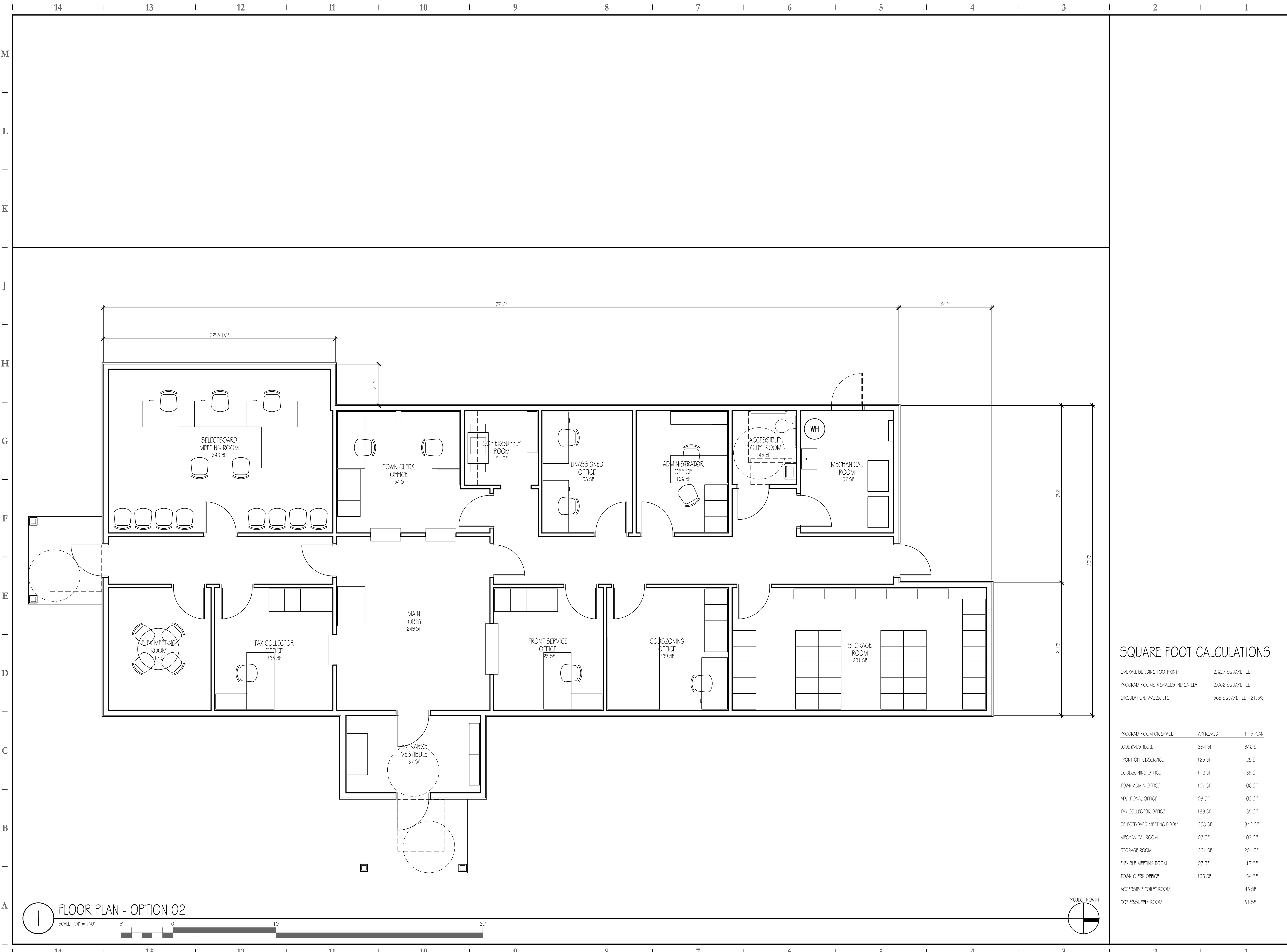
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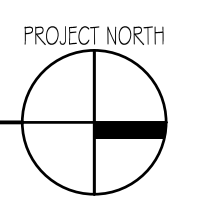
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FLOOR PLAN
OPTION 01

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SCALE: AS NOTED
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PROJECT NUMBER: 2335

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FLOOR PLAN - OPTION 02
 SCALE: 1/4" = 1'-0"
 5' 10' 30'



SQUARE FOOT CALCULATIONS

OVERALL BUILDING FOOTPRINT: 2,627 SQUARE FEET
 PROGRAM ROOMS & SPACES INDICATED: 2,062 SQUARE FEET
 CIRCULATION, WALLS, ETC: 565 SQUARE FEET (21.5%)

| PROGRAM ROOM OR SPACE | APPROVED | THIS PLAN |
|--------------------------|----------|-----------|
| LOBBY/VESTIBULE | 394 SF | 346 SF |
| FRONT OFFICE/SERVICE | 125 SF | 125 SF |
| CODE/ZONING OFFICE | 112 SF | 139 SF |
| TOWN ADMIN OFFICE | 101 SF | 106 SF |
| ADDITIONAL OFFICE | 93 SF | 103 SF |
| TAX COLLECTOR OFFICE | 133 SF | 135 SF |
| SELECTBOARD MEETING ROOM | 358 SF | 343 SF |
| MECHANICAL ROOM | 97 SF | 107 SF |
| STORAGE ROOM | 301 SF | 291 SF |
| FLEXIBLE MEETING ROOM | 97 SF | 117 SF |
| TOWN CLERK OFFICE | 103 SF | 154 SF |
| ACCESSIBLE TOILET ROOM | | 45 SF |
| COPIER/SUPPLY ROOM | | 51 SF |

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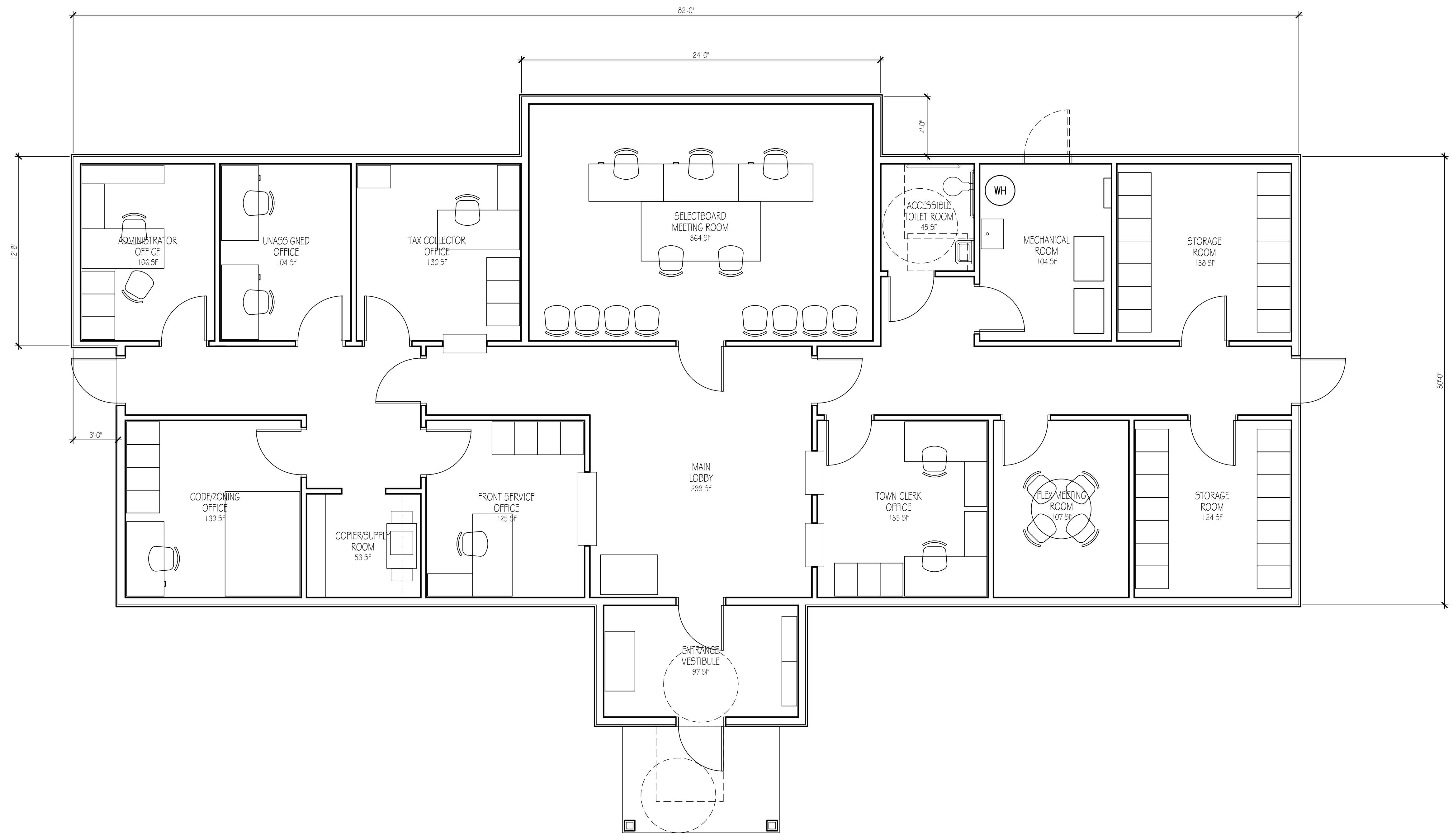
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PROJECT NUMBER: 2335

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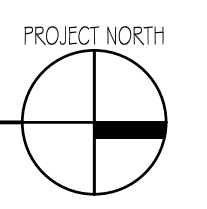
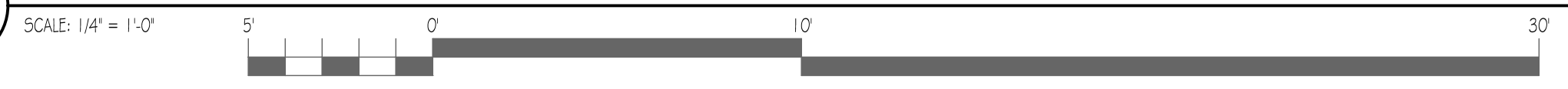


SQUARE FOOT CALCULATIONS

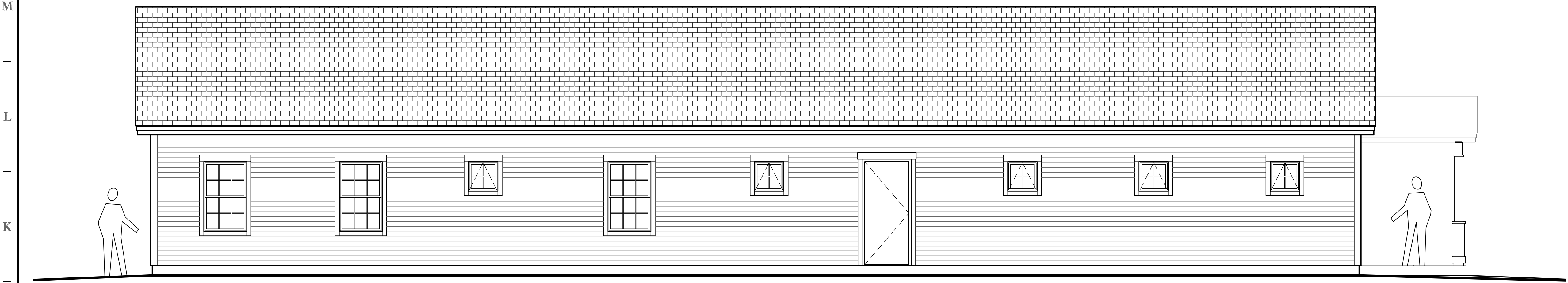
OVERALL BUILDING FOOTPRINT: 2,616 SQUARE FEET
PROGRAM ROOMS & SPACES INDICATED: 2,070 SQUARE FEET
CIRCULATION, WALLS, ETC: 546 SQUARE FEET (20.8%)

| PROGRAM ROOM OR SPACE | APPROVED | THIS PLAN |
|--------------------------|----------|-----------|
| LOBBY/VESTIBULE | 394 5F | 396 5F |
| FRONT OFFICE/SERVICE | 125 5F | 125 5F |
| CODE ZONING OFFICE | 112 5F | 139 5F |
| TOWN ADMIN OFFICE | 101 5F | 106 5F |
| ADDITIONAL OFFICE | 93 5F | 104 5F |
| TAX COLLECTOR OFFICE | 133 5F | 130 5F |
| SELECTBOARD MEETING ROOM | 358 5F | 364 5F |
| MECHANICAL ROOM | 97 5F | 104 5F |
| STORAGE ROOM | 301 5F | 262 5F |
| FLEXIBLE MEETING ROOM | 97 5F | 107 5F |
| TOWN CLERK OFFICE | 103 5F | 135 5F |
| ACCESSIBLE TOILET ROOM | | 45 5F |
| COPIER/SUPPLY ROOM | | 53 5F |

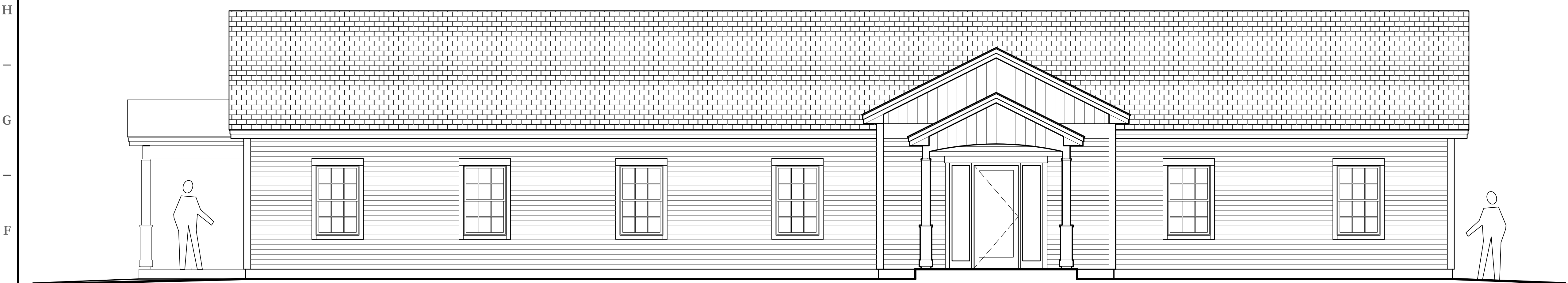
FLOOR PLAN - OPTION 03



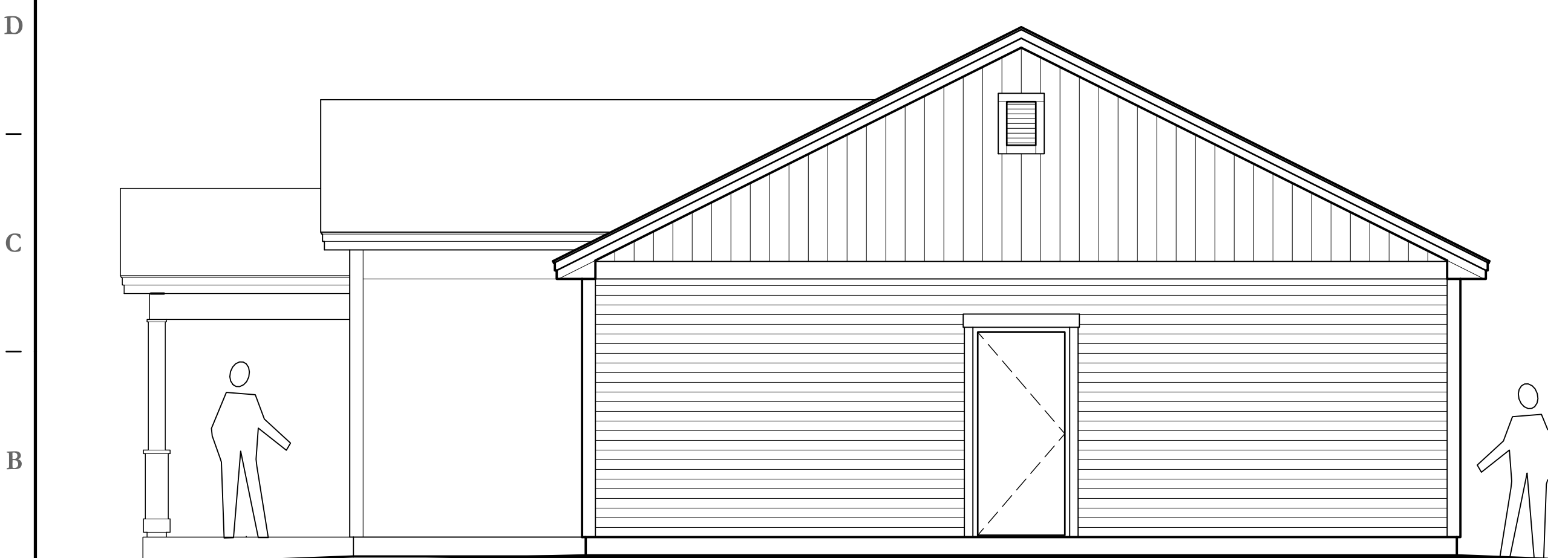
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1 NORTH ELEVATION - OPTION 01
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION - OPTION 01
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION - OPTION 01
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION - OPTION 01
SCALE: 1/4" = 1'-0"



14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

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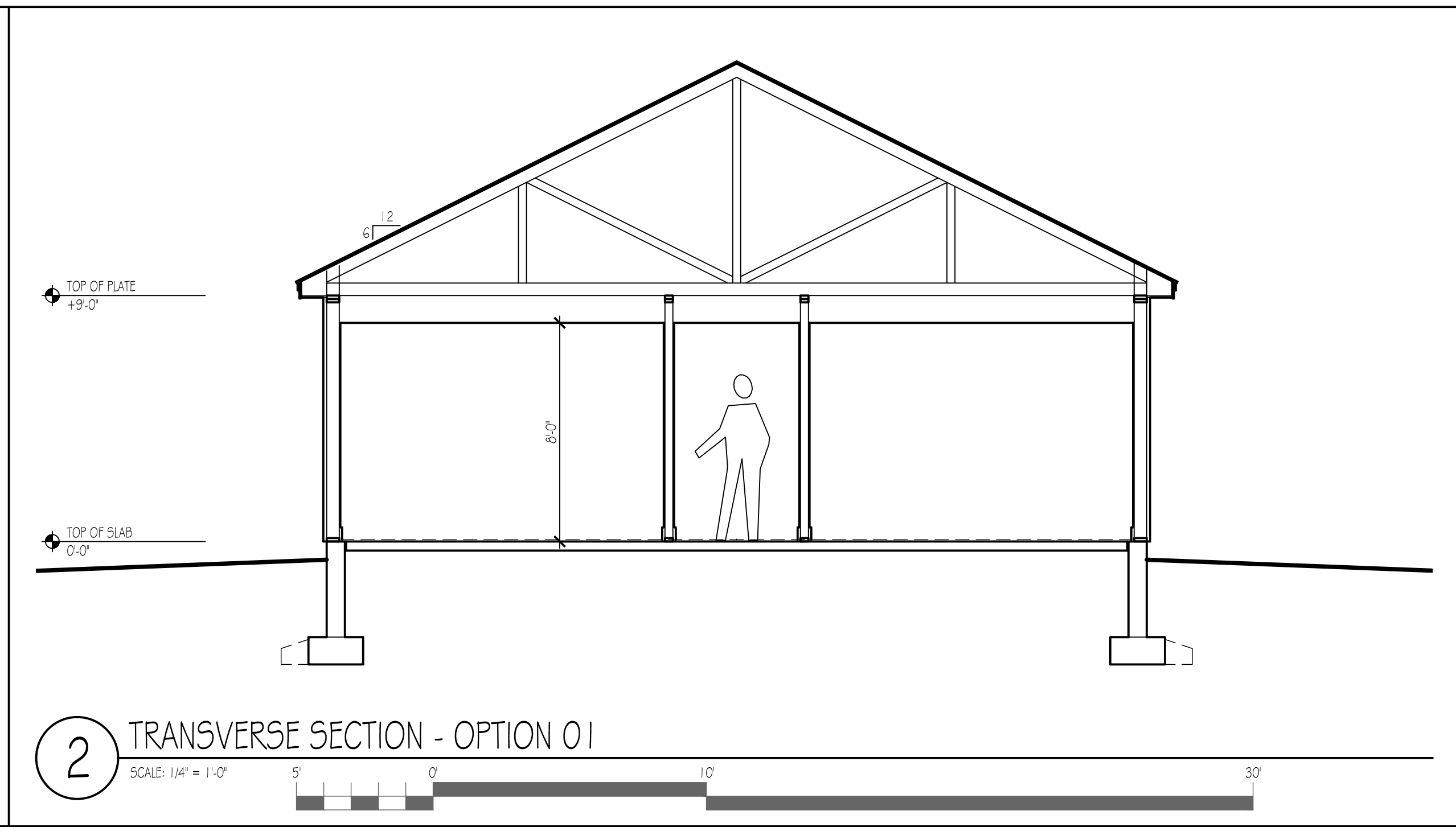
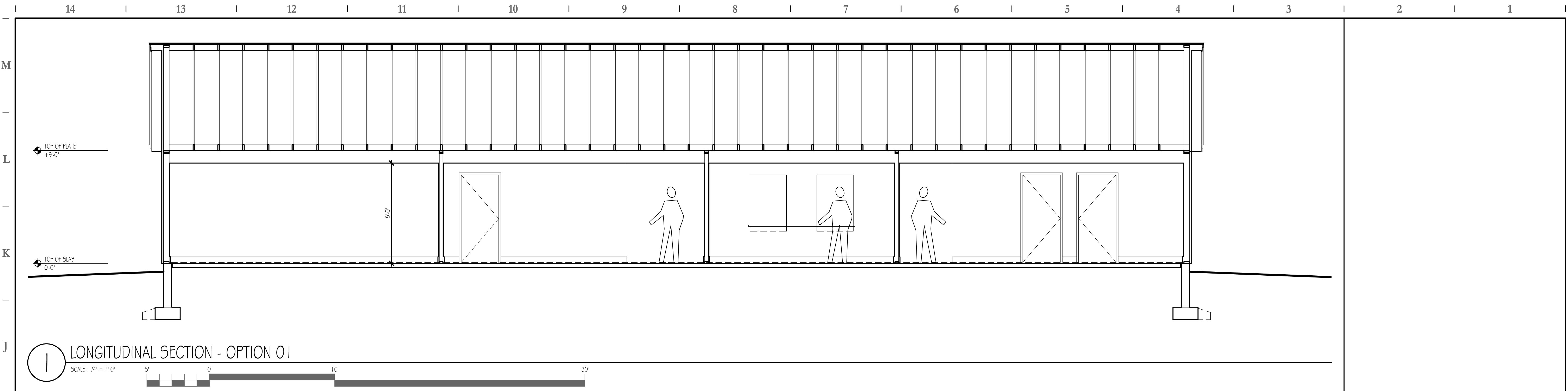
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BUILDING SECTIONS
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